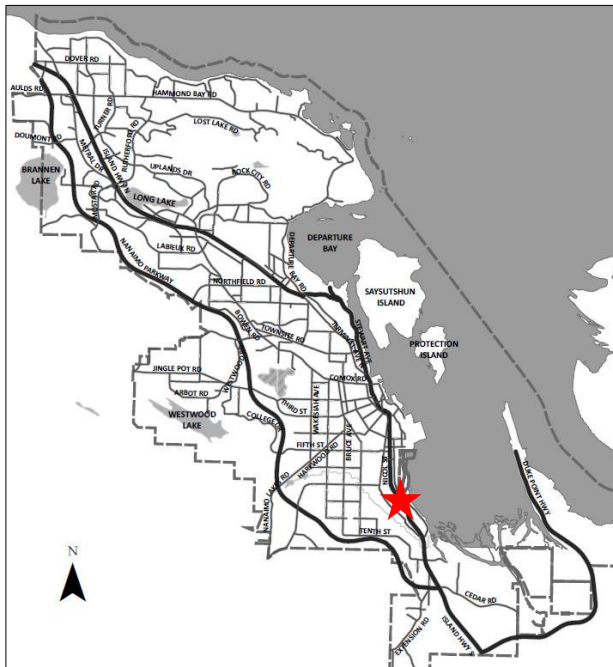


DATE OF MEETING | September 9, 2024

AUTHORED BY | CALEB HORN, PLANNER, CURRENT PLANNING

**SUBJECT** | **DEVELOPMENT PERMIT APPLICATION NO. DP1315 – 821 HALIBURTON STREET**



**Proposal:**

A 103-unit multi-family residential development

**Zoning:**

R8 – Medium Density Residential

**City Plan Land Use Designation:**

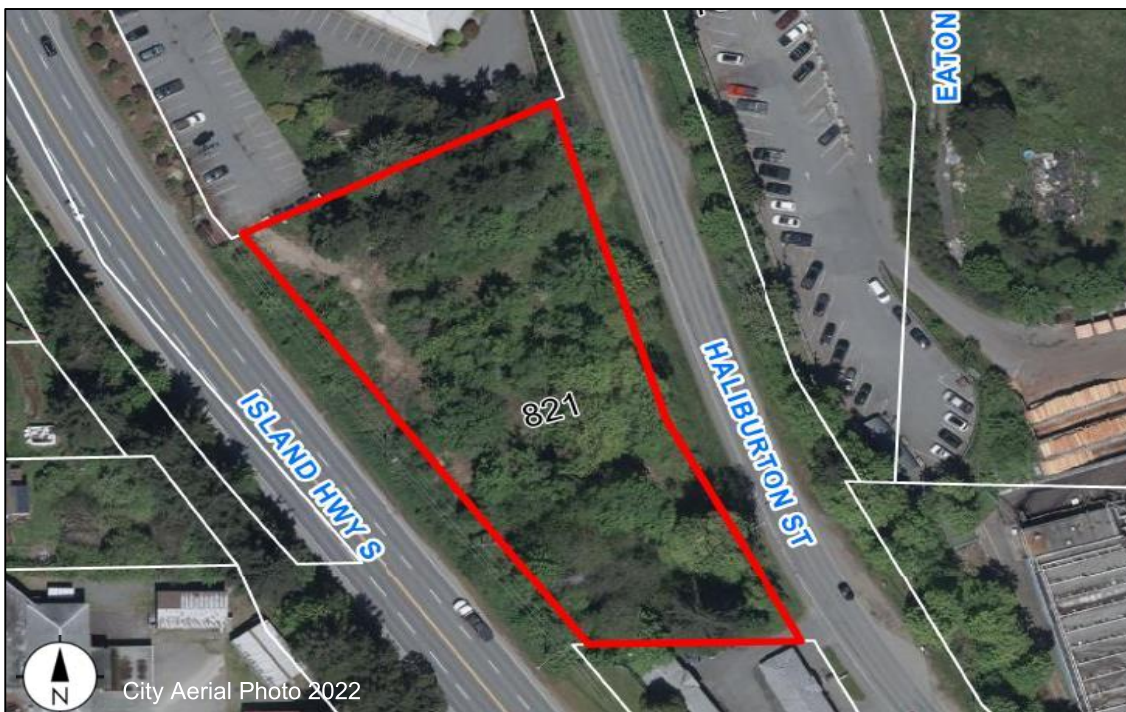
Suburban Neighbourhood

**Development Permit Areas:**

DPA8 – Form & Character

**Lot Area:**

4,876m<sup>2</sup>



## **OVERVIEW**

### **Purpose of Report**

To present for Council's consideration a development permit application for a multi-family residential development at 821 Haliburton Street.

### **Recommendation**

That Council issue Development Permit No. DP1315 for a multi-family residential development at 821 Haliburton Street.

## **BACKGROUND**

A development permit application, DP1315, was received from Raymond de Beeld Architect Inc., on behalf of Bakerview Motor Inn Ltd., to permit a five-storey multi-family residential development with 103 dwelling units at 821 Haliburton Street.

### **Subject Property and Site Context**

The subject property is a through lot located in the southern portion of the South End neighbourhood. The lot, which is presently undeveloped, abuts the Island Highway to the west and Haliburton Street to the east and slopes downhill by approximately 7m from west to east. The surrounding neighbourhood is a transitional area with industrial, commercial, and residential uses. Adjacent properties include the Coastland wood mill across Haliburton Street to the east, a 19-unit residential strata to the south, single residential dwellings and a place of worship across the Island Highway to the west, and a hotel to the north.

## **DISCUSSION**

### **Proposed Development**

The proposed development is a five-storey multi-family residential building with 103 dwelling units. The development is expected to be a strata (condo) project. The proposed unit composition consists of 49 one-bedroom units and 54 two-bedroom units, with unit sizes ranging from 50m<sup>2</sup> to 94m<sup>2</sup>.

The proposed gross floor area is 7,659m<sup>2</sup> and the total Floor Area Ratio (FAR) is 1.57, below the maximum permitted FAR of 1.58 for this development. The base maximum FAR for the R8 zone is 1.25 and the applicant is proposing to achieve an additional 0.10 FAR through the provision of amenities as outlined in 'Schedule D – Amenity Requirements for Additional Density' of the "City of Nanaimo Zoning Bylaw 2011 No. 4500" (the "Zoning Bylaw") and an additional 0.23 FAR by providing 93% of the required parking underground.

The applicant is proposing to meet Tier 1 in 'Schedule D' by providing amenities including the following:

- electric vehicle charging for 50% of parking spaces;

- scooter/motorcycle parking;
- exceeding the BC Energy Step Code required at building permit stage by one step;
- 50% permeable surface area; and,
- educational signage regarding sustainable transportation alternatives, energy management practices, and water management practices.

### *Site Design*

The proposed building will be sited parallel to the west property line, taking advantage of views towards the ocean. Terraced concrete retaining walls are proposed to manage the grade change between the Island Highway and the building.

Two drive aisle entries are proposed, both from Haliburton Street, with visitor parking in a small surface parking lot in the front of the building. Two levels of under-building parking are proposed, one accessed at grade from the parking lot and one underground accessed by a ramp. All required parking will be provided on-site with 12 stalls in the surface parking lot, 63 stalls in the upper parking level, and 94 stalls in the lower parking level. Additionally, all required bicycle parking will be provided including a bike rack for visitors at the building entry and long-term bicycle storage in the at-grade parking level. A refuse receptacle enclosure is proposed adjacent to the at-grade parking level entry.

The pedestrian entry to the site will be via an accessible walkway from Haliburton Street. A secondary egress walkway will wrap around the south side of the building and connect to Haliburton Street via stairs. This secondary walkway will provide access to a small outdoor amenity area with seating in the southeast corner of the site. Site lighting will include down-facing bollard lighting along walkways and lighting poles at the surface parking lot. A rooftop amenity space with seating is also proposed for residents on the north side of the building.

### *Building Design*

The building layout is organized around an internal corridor that is repeated over five levels. The building will present a six-storey façade for a portion of its east elevation, facing Haliburton Street, where the building's entry and lobby mask the upper parking level. The building design is contemporary with repeated frames of a four-storey massing, and the uppermost level set back to de-emphasize the fifth storey. All units will include outdoor balconies or patios.

Exterior building materials will consist of a mix of smooth cementitious panels in different colours, and cedar panel accent walls. Some exposed concrete elements will be present adjacent to drive aisle entries and along the refuse receptacle enclosure. Balcony rails will be powder-coated aluminum with tempered glass. A covered entry with cedar soffit is proposed for the front entranceway.

No variances are requested and the proposed development is in substantial compliance with the applicable General Development Permit Area Design Guidelines and the South End Urban Design Framework and Guidelines by visually differentiating the uppermost floor, providing visual interest on street-facing elevations, and repeating architectural elements with a consistent rhythm to the building form.

### *Landscape Design*

The proposed landscape design includes substantial planting in all areas of the site. A forest edge is proposed with Douglas firs and a mix of evergreen and deciduous trees. No trees are permitted along the north property line where the Statutory Right-of-Way (SRW) for underground utilities is proposed. Along the west property line, terraced gardens are proposed between the retaining walls, and a garden is proposed around the chip path on the Haliburton Street frontage. A bioswale and meadow garden is proposed between the surface parking lot and the walkway in front of the building. Additional planting is proposed around all patios, adjacent to the building entry, and in planters on the rooftop amenity space.

### **Design Advisory Panel**

The Design Advisory Panel (DAP), at its meeting held on 2023-OCT-26, accepted DP1315 as presented and the following recommendations were provided:

- Consider adding accessible units, especially on the ground floor;
- Consider a designated walkway along the south driveway to Haliburton Street;
- Consider the aesthetic quality of the fencing along the highway; and,
- Consider a different style of bike rack at the entrance that can accommodate a range of bike types.

The applicant subsequently submitted revised plans in response to the DAP recommendations, including the following key design revisions:

- Addition of a textured walkway along the south driveway;
- Replacement of cedar panel fence with black metal picket fence along the Island Highway; and,
- Revised u-shape bike rack at building entry.

Additionally, a building height variance previously considered by the DAP has since been eliminated by the applicant through redesign of the rooftop amenity space. |

### **SUMMARY POINTS**

- Development Permit Application No. DP1315 is for a five-storey multi-family residential development with 103 dwelling units at 821 Haliburton Street.
- No variances are requested and the proposed development is in substantial compliance with the applicable General Development Permit Area Design Guidelines and the South End Urban Design Framework and Guidelines. |

## **ATTACHMENTS**

ATTACHMENT A: Permit Conditions  
ATTACHMENT B: Subject Property Map  
ATTACHMENT C: Site and Parking Plans  
ATTACHMENT D: Building Elevations and Details  
ATTACHMENT E: Building Perspectives  
ATTACHMENT F: Landscape Plan and Details  
ATTACHMENT G: Schedule D – Amenity Requirements for Additional Density

### **Submitted by:**

Lainya Rowett  
Manager, Current Planning

### **Concurrence by:**

Jeremy Holm  
Director, Planning & Development

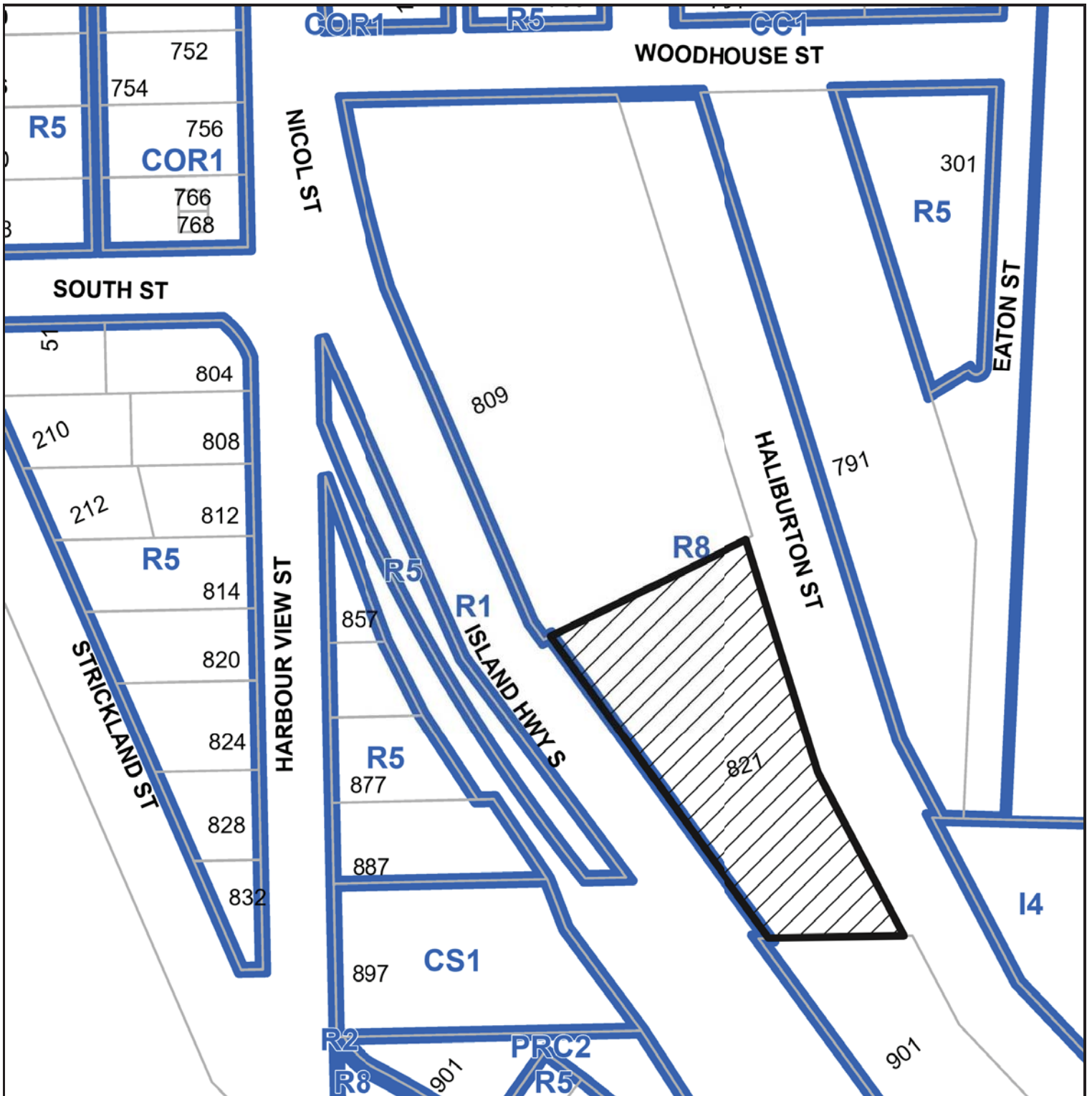
# ATTACHMENT A

## PERMIT TERMS AND CONDITIONS

### CONDITIONS OF PERMIT

1. The subject property shall be developed in substantial compliance with the Site and Parking Plans prepared by Raymond de Beeld Architect Inc., dated 2024-JUL-19, as shown on Attachment C.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details prepared by Raymond de Beeld Architect Inc., dated 2024-JUL-19, as shown on Attachment D.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by Kinship Design Art Ecology, dated 2024-JUL-24, as shown on Attachment F.
4. The subject property shall be developed in accordance with the 'Schedule D – Amenity Requirements for Additional Density' prepared by Raymond de Beeld Architect Inc., received 2024-MAY-16, as shown on Attachment G, and to include the following items:
  - A letter from the coordinating professional submitted prior to building permit issuance outlining how the required items for additional density will be achieved; and
  - A letter from the coordinating professional with accompanying evidence submitted prior to building occupancy demonstrating that the required items have been provided.
5. Registration of a Statutory Right-of-Way (SRW) for the watermain along the north property line prior to building permit issuance or any development within the property, to the satisfaction of the Director of Planning & Development.

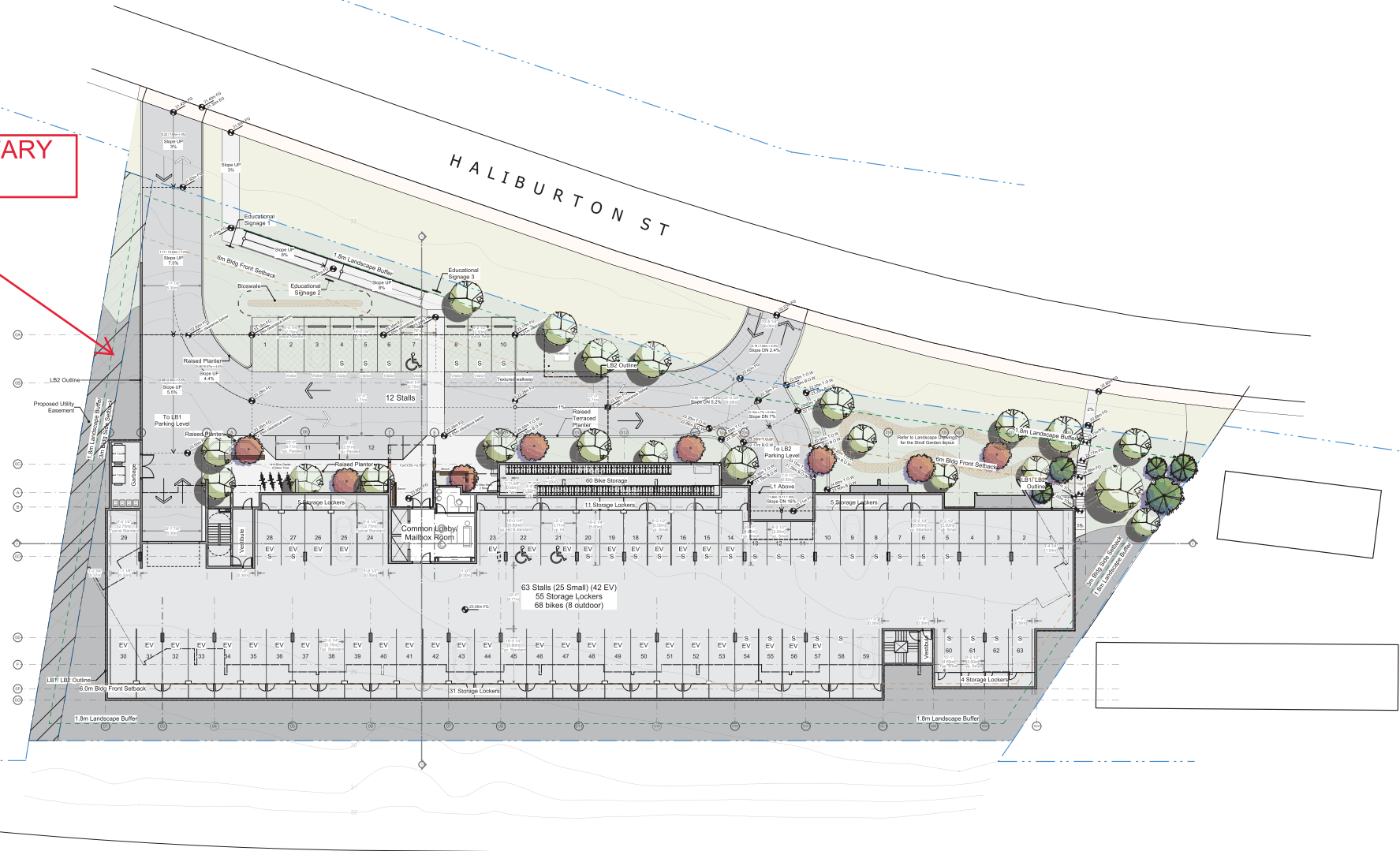
ATTACHMENT B  
SUBJECT PROPERTY MAP



 821 HALIBURTON STREET

# ATTACHMENT C SITE AND PARKING PLANS

SRW FOR SANITARY SEWER



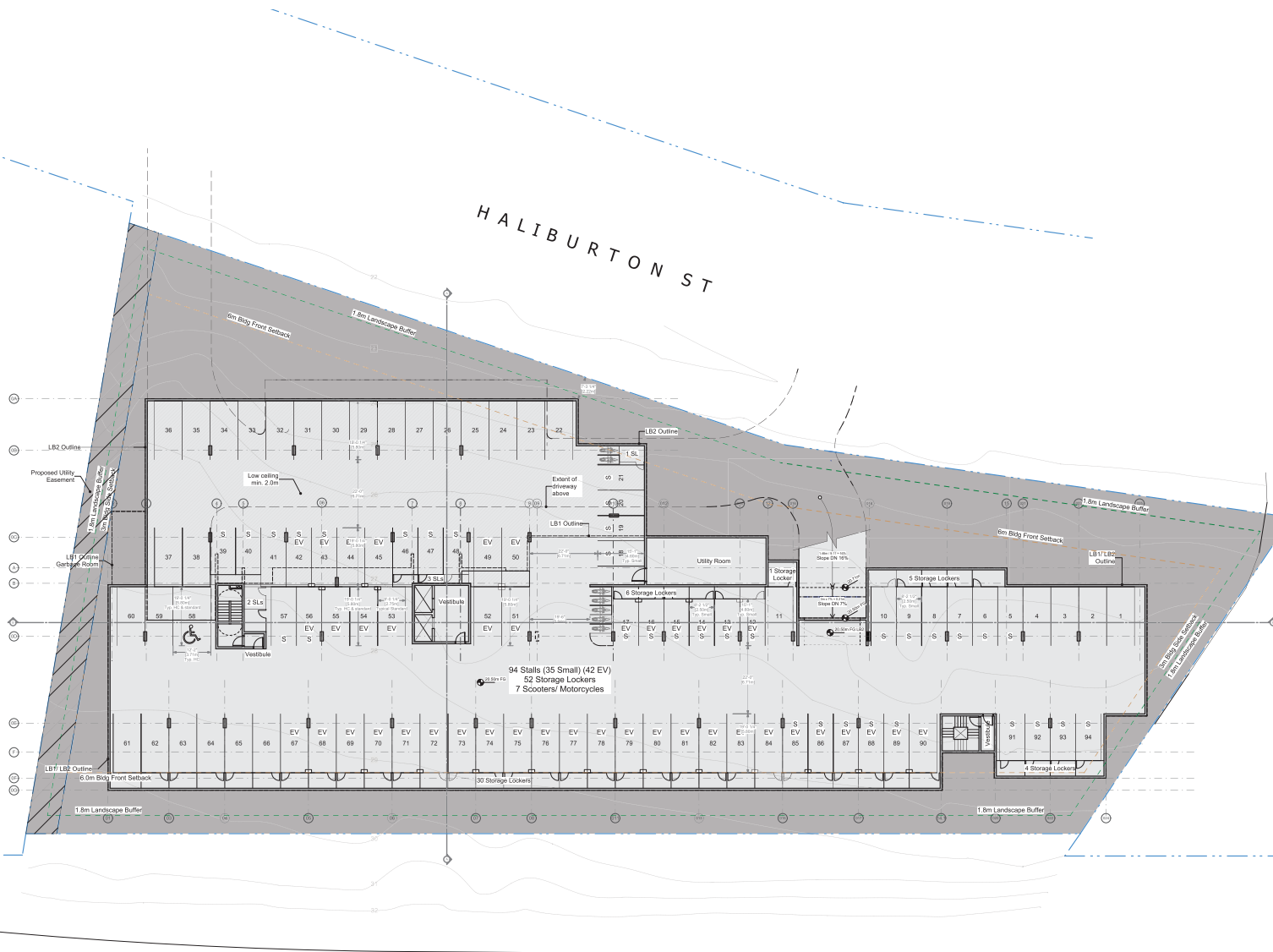
ISLAND HIGHWAYS

1 LB1 Floor Plan  
Scale: 1/16" = 1'-0"

RECEIVED  
DP1315  
2024-JUL-19  
Current Planning



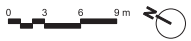




ISLAND HIGHWAYS

RECEIVED  
 DP1315  
 2024-JUL-19  
 Current Planning

1 LB2 Floor Plan  
 Scale: 1/16" = 1'-0"



# ATTACHMENT D BUILDING ELEVATIONS AND DETAILS



**FACING HALIBURTON STREET**

1 North East Elevation (Haliburton St.)  
Scale: 3/32" = 1'-0"



2 South East Elevation  
Scale: 3/32" = 1'-0"

**MATERIAL LEGEND:**

FP1	Hardie Panel Smooth w/ matching surround trim (Arctic White)
FP2	Hardie Panel Smooth w/ matching surround trim (Grey)
FP3	Hardie Panel Smooth w/ matching surround trim (Teal)
CN1	Concrete
CN2	Dark Grey Stained Concrete
CN3	Vertical Board Formed Concrete
MF1	Metal Flashing (White, 1/2")
MT2	Metal Flashing (Grey, 1/2")
W01	T&G Cedar Wall and Soffit
AL1	Aluminum Grille Doors - Black Powder Coated
AL2	Aluminum Glass Railing - Black Powder Coated
AL3	Teal Coloured Glass/ Glass Railing - Black Powder Coated
W01	Vinyl Window Door (Black Frame)



RECEIVED  
DP 1315  
2024-JUL-19  
CURRENT PLANNING



**MATERIAL LEGEND:**

- PP1 Hardie Panel Smooth w/ matching surround trim (Arctic White)
- PP2 Hardie Panel Smooth w/ matching surround trim (Grey)
- PP3 Hardie Panel Smooth w/ matching surround trim (Teal)
- CN1 Concrete
- CN2 Dark Grey Stained Concrete
- CN3 Vertical Board Formed Concrete
- MT1 Metal Flashing (White, 12")
- MT2 Metal Flashing (Grey, 12")
- W01 T&G Cedar Wall and Soffit
- AL1 Aluminum grille Doors - Black Powder Coated
- AL2 Aluminum Glass Railing - Black Powder Coated
- AL3 Teal Coloured Glass/ Glass Railing - Black Powder Coated
- W01 Vinyl Window Door (Black Frame)



# ATTACHMENT E BUILDING PERSPECTIVES



**RECEIVED**  
**DP1315**  
**2024-JUL-19**  
Current Planning

AA 1955A1	A1-A1-79
A5.0	Cover Sheet, Drawing List
A0.1-A0.9	Perspectives
A1.1	Context, Data, Permeable Area
A2.1	L02 Floor Plan
A2.2	L01 Floor Plan
A2.3	Site Plan, L1 Floor Plan
A2.4	L2, L3 Floor Plans, Roof Plan
A2.5	Units 1
A2.6	Units 2
A6.1	Elevations 1
A6.2	Elevations 2
A7.1	Sections

















# ATTACHMENT F LANDSCAPE PLAN AND DETAILS

## DESIGN PRECEDENTS

### PLANTINGS



01 Japanese Maple



02 Japanese Maple (fall colour)



03 White Flowering Dogwood



04 Red Flowering Dogwood



05 Forest Garden Understory: Sword Fern + Salal



06 Forest Garden Shrubs: Flowering Red Currant



07 Terrace garden: Japanese Forest Grass

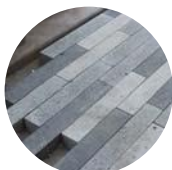


08 Meadow Garden: Perennial grasses + flowers

### SITE FURNISHINGS



13 Benches



14 Front Entrance Paving



15 Black Metal Picket Perimeter Fence



16 Bollard lighting

## DESIGN RATIONALE

### SITE CONTEXT

Located at 821 Haliburton Street, the project site is situated between the Island Highway and Sunueymuxw IR#1, in the south-east quarter of Nanaimo's South End Neighbourhood Plan area. The site drops 10m from the Island Highway to Haliburton Street, resulting in a north-east aspect that offers expansive views of the Nanaimo River estuary and Saysutshun, Protection and Gabriola Islands. Rocky soils predominate the site, and the remnant forest is comprised primarily of Bigleaf maple, with a lesser component of Douglas fir and Red alder.

### DESIGN RATIONALE

The landscape design takes cues from the **City of Nanaimo's South End Neighbourhood Plan, Zoning Bylaw 4500 and City Plan: Reimagine Nanaimo**. The South End Neighbourhood Plan states that ecosystem complexity and habitat enhancement are basic concepts of neighbourhood sustainability, that landscaping should consider native plant diversity, and that the protection and preservation of views to the ocean are of great importance. Principle 5 of the Plan is to "Preserve, enhance and restore the natural environment," and Principle 8 is to "Maintain key views and unique vistas."

Bylaw 4500 provides additional guidance, recommending an informal design approach to the landscape, including maintaining an equal balance of coniferous and deciduous trees in the south end of Nanaimo.

Section C.1.3 of City Plan: Reimagine Nanaimo outlines desired outcomes and policies relating to the Urban Tree Canopy, Natural Areas and Greenways. The plan targets enhanced ecosystem biodiversity and resilience, as well as consideration of climate change when replacing or replanting new trees; and promotion of pollinator friendly plants on public and private lands.

The intent of these policies and regulations is achieved at 821 Haliburton by going above and beyond the 49 required replacement trees, providing an additional 52 landscape trees that contribute to habitat diversity, watershed health, climate resilience and visual interest. To preserve views to the ocean considered so important in the South End Neighbourhood Plan, while creating buffers to adjacent uses including the Highway, trees are generally kept to the periphery of the parcel. Some smaller deciduous trees drift toward the front of the building to moderate the architecture along Haliburton. Overall, the planting scheme is inspired the Coastal Douglas fir ecosystem, including forest edges and meadow gardens that will result in a thriving, diverse and climate resilient urban ecosystem.

### KEY DESIGN FEATURES AND ELEMENTS

- **Forest Edge:** A Coastal Douglas Fir inspired forest that includes a mix of evergreen & deciduous trees, shrubs, and groundcovers embraces the rear and sides of the proposed building. Lower, deciduous trees closer to the front of the building frame important views, increase species diversity and ensure solar access to the primary building façade.
- **Stroll Garden:** A meandering path through a garden that incorporates indigenous understory species, pollinator plants and ornamental perennials offers a contemplative stroll for residents to enjoy fresh air and beautiful vistas.
- **Meadow Garden:** A meadow landscape that includes a mix of evergreen & deciduous shrubs, perennial grasses & flowers, and groundcovers to add diversity, provide habitat to pollinators, offer visual interest, and to preserve views to the Nanaimo River estuary and beyond.
- **Terraced Gardens:** Due to the sloping nature of the site, sunken patios at the rear of the building nestle private patios into the landscape and provide refuges that immerse residents into the natural environment.
- **Site Accessibility:** An accessible entrance is provided that connects the main entry of the building to Haliburton Street through a refined walkway through the parking area at the front of the building.

RECEIVED  
DP1315  
2024-JUL-24  
Current Planning



All drawings and specifications are the copyright property of the Landscape Architect. Use or reproduction of documents in whole or in part is subject to the Landscape Architect's specific consent.

#### CLIENT

May & William

#### NO. | DATE | ISSUE

1	08-15-2023	DP SUBMISSION
2	03-15-2024	DP RESUBMISSION
3	05-16-2024	DP RESUBMISSION
4	07-16-2024	DP RESUBMISSION

#### NO. | DATE | REVISION


#### PROJECT

**HALIBURTON APARTMENTS**  
821 Haliburton Street  
Nanaimo, BC, V9R 4V9

## LANDSCAPE DESIGN RATIONALE

#### PROJECT ID 22009




















DB CM CB KS

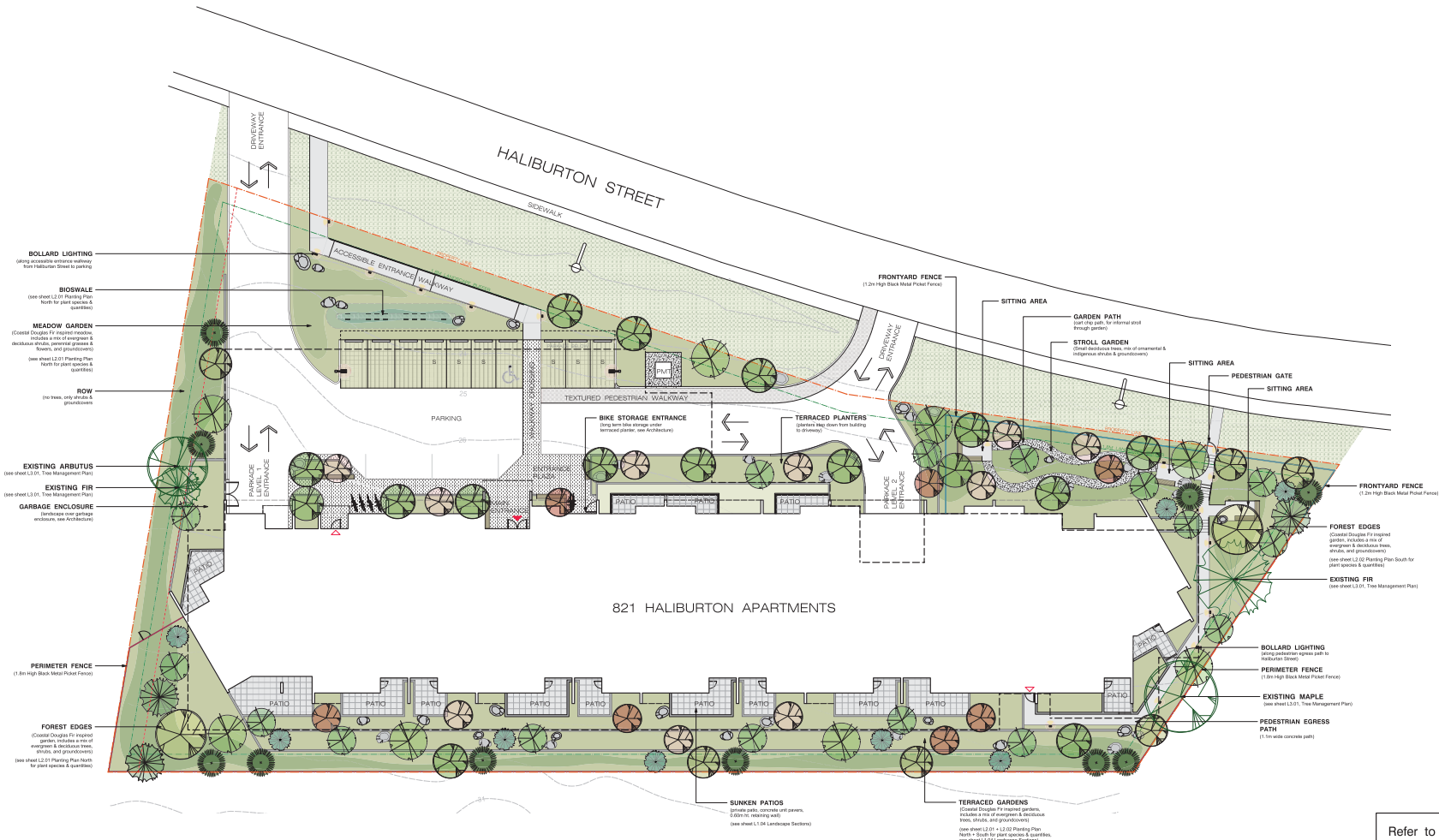
SCALE NTS  
DATE July, 2022



**L1.01**

LANDSCAPE LEGEND

-  **BENCH TYPE 01**  
Quantity: 9
-  **BENCH TYPE 02**  
Quantity: 3
-  **BICYCLE RACK**  
Quantity: 5 (2 bikes per rack)  
Capacity: 10 bikes
-  **ENTRANCE**
-  **EXIT**
-  **LANDSCAPE BOULDER**  
Quantity: 37
-  **LIGHTING BOLLARD**  
Quantity: 17
-  **LIGHTING POLE TOP**  
Quantity: 2
-  **FRONTYARD FENCE**  
Black metal picket, 1.2m high fence
-  **PERIMETER FENCE**  
Black metal picket, 1.8m high fence
-  **STEEL PLANTER**  
Quantity: 3
-  **CART CHIP PATH**  
Area: 45m<sup>2</sup>
-  **CONCRETE WALKWAY**  
Area: 142m<sup>2</sup>
-  **CONCRETE UNIT PAVER TYPE 01**  
Area: 140m<sup>2</sup>
-  **CONCRETE UNIT PAVER TYPE 02**  
Area: 328m<sup>2</sup>
-  **GRASS BOULEVARD**  
Area: 435m<sup>2</sup>  
Soil Depth: 150mm
-  **PLANTED AREA**  
Area: 1720m<sup>2</sup>  
Soil Depth: 450mm
-  **PLANTED AREA OVER STRUCTURE**  
Area: 36m<sup>2</sup>  
Soil Depth: 300mm
-  **TURFSTONE**  
Area: 128m<sup>2</sup>



**LANDSCAPE PLAN**  
SCALE 1:200

Refer to **Sheet L1.01** for Design Rationale  
 Refer to **Sheet L1.03** for Patio Landscape Plan  
 Refer to **Sheet L1.04** for Landscape Elevation  
 Refer to **Sheet L1.05** for Landscape Sections

RECEIVED  
**DP1315**  
 2024-JUL-24  
 Current Planning

**NOT FOR CONSTRUCTION**

**kinship**  
 design • art • ecology

1070 Nelson Street, Nanaimo BC, V9S 2K2  
 250-753-9090  
 kate.storluk@kinshipdesign.ca  
 chris.midgley@kinshipdesign.ca



All drawings and specifications are the copyright property of the Landscape Architect. Use or reproduction of documents in whole or in part is subject to the Landscape Architect's specific consent.

**CLIENT**  
 May & William

NO.	DATE	ISSUE
1	08-15-2023	DP SUBMISSION
2	03-15-2024	DP RESUBMISSION
3	05-16-2024	DP RESUBMISSION
4	07-16-2024	DP RESUBMISSION

**NO. | DATE | REVISION**




















**PROJECT**  
**HALIBURTON APARTMENTS**  
 821 Haliburton Street  
 Nanaimo, BC, V9R 4V9

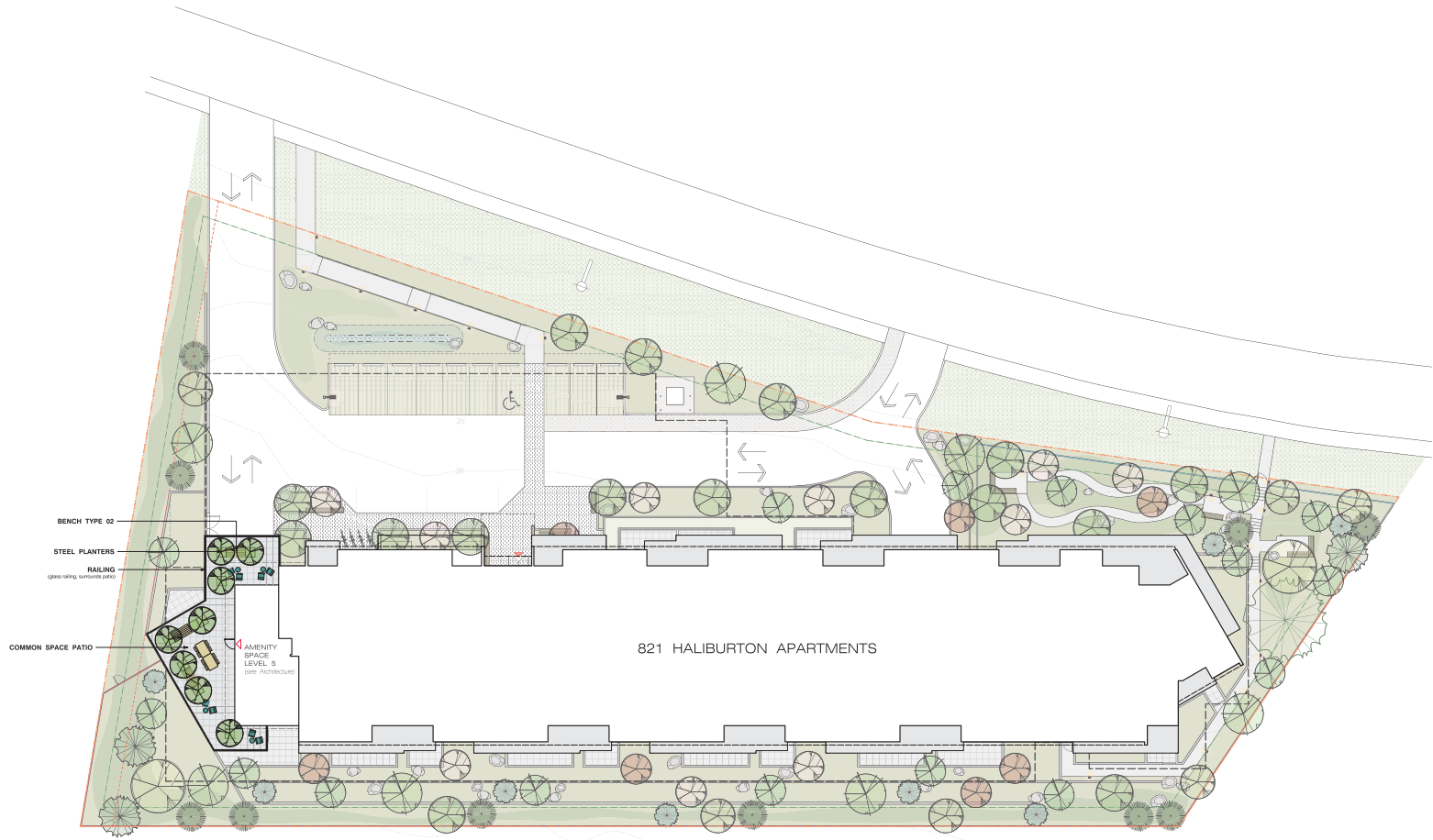
**PROJECT ID** 220039  
**DB** CM **CB** KS  
**SCALE** 1:200  
**DATE** July, 2022

**LANDSCAPE PLAN**

**L1.02**

**LANDSCAPE LEGEND**

-  **BENCH TYPE 01**  
Quantity: 9
-  **BENCH TYPE 02**  
Quantity: 3
-  **BICYCLE RACK**  
Quantity: 5 (2 bikes per rack)  
Capacity: 10 bikes
-  **ENTRANCE**
-  **EXIT**
-  **LANDSCAPE BOULDER**  
Quantity: 37
-  **LIGHTING BOLLARD**  
Quantity: 17
-  **LIGHTING POLE TOP**  
Quantity: 2
-  **FRONTYARD FENCE**  
Black metal picket, 1.2m high fence
-  **PERIMETER FENCE**  
Black metal picket, 1.8m high fence
-  **STEEL PLANTER**  
Quantity: 9
-  **CART CHIP PATH**  
Area: 45m<sup>2</sup>
-  **CONCRETE WALKWAY**  
Area: 142m<sup>2</sup>
-  **CONCRETE UNIT PAVER TYPE 01**  
Area: 146m<sup>2</sup>
-  **CONCRETE UNIT PAVER TYPE 02**  
Area: 328m<sup>2</sup>
-  **GRASS BOULEVARD**  
Area: 435m<sup>2</sup>  
Soil Depth: 150mm
-  **PLANTED AREA**  
Area: 1726m<sup>2</sup>  
Soil Depth: 450mm
-  **PLANTED AREA OVER STRUCTURE**  
Area: 36m<sup>2</sup>  
Soil Depth: 300mm
-  **TURFSTONE**  
Area: 128m<sup>2</sup>



**ROOFTOP LANDSCAPE PLAN**  
SCALE 1:200

Refer to **Sheet L1.01** for Design Rationale  
Refer to **Sheet L1.02** for Landscape Plan  
Refer to **Sheet L1.04** for Landscape Elevation  
Refer to **Sheet L1.05** for Landscape Sections

**NOT FOR CONSTRUCTION**

RECEIVED  
**DP1315**  
2024-JUL-24  
*Current Planning*

 **kinship**  
design • art • ecology  
1070 Nelson Street, Nanaimo BC, V9S 2K2  
250-753-9093  
kate.sterluk@kinshipdesign.ca  
chris.midgley@kinshipdesign.ca



All drawings and specifications are the copyright property of the Landscape Architect. Use or reproduction of documents in whole or in part is subject to the Landscape Architect's specific consent.

**CLIENT**  
May & William

NO.	DATE	ISSUE
1	08-15-2023	DP SUBMISSION
2	03-15-2024	DP RESUBMISSION
3	05-16-2024	DP RESUBMISSION
4	07-16-2024	DP RESUBMISSION

**NO. | DATE | REVISION**

**PROJECT**  
**HALIBURTON APARTMENTS**  
821 Haliburton Street  
Nanaimo, BC, V9R 4V9

**PATIO LANDSCAPE PLAN**

**PROJECT ID** 220009  
**DB** CM **CB** KS

**SCALE** 1:200  
**DATE** July, 2022

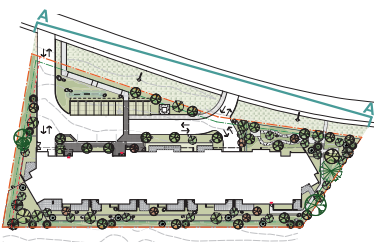


**L1.03**



**A HALIBURTON STREET ELEVATION**

SCALE 1:125



Refer to **Sheet L1.01** for Design Rationale  
 Refer to **Sheet L1.02** for Landscape Plan  
 Refer to **Sheet L1.03** for Patio Landscape Plan  
 Refer to **Sheet L1.05** for Landscape Sections

RECEIVED  
**DP1315**  
 2024-JUL-24  
 Current Planning

**NOT FOR CONSTRUCTION**

1070 Nelson Street, Nanaimo BC, V9S 2K2  
 250-753-9093  
 kate.sterluk@kinshipdesign.ca  
 chris.midgley@kinshipdesign.ca



**CLIENT**  
 May & William

NO.	DATE	ISSUE
1	08-15-2023	DP SUBMISSION
2	03-15-2024	DP RESUBMISSION
3	05-16-2024	DP RESUBMISSION
4	07-16-2024	DP RESUBMISSION

NO.	DATE	REVISION

**PROJECT**  
**HALIBURTON APARTMENTS**  
 821 Haliburton Street  
 Nanaimo, BC, V9R 4V9

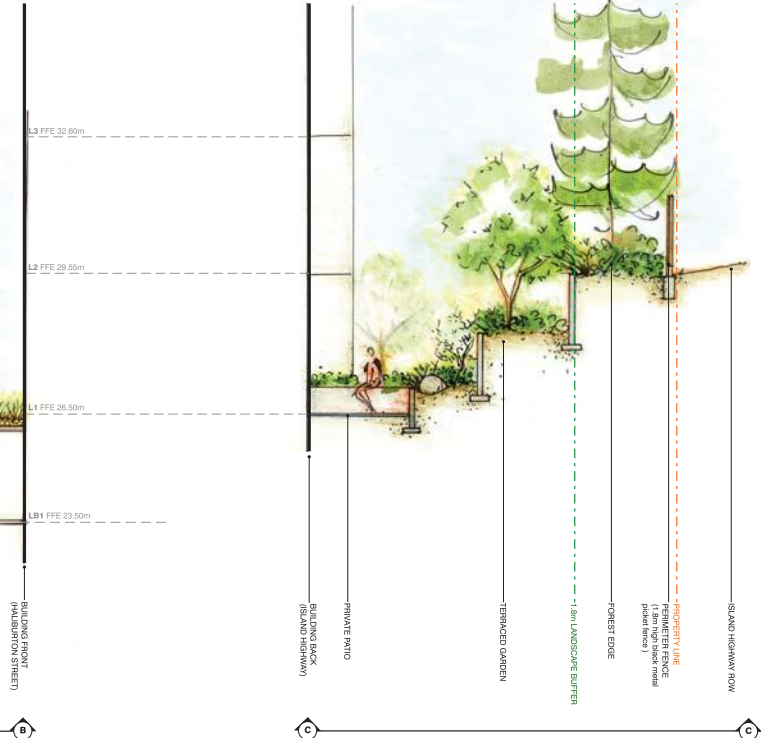
**LANDSCAPE ELEVATION**

**PROJECT ID** 220009  
**DB** CM **CB** KS  
**SCALE** 1:50  
**DATE** July, 2022

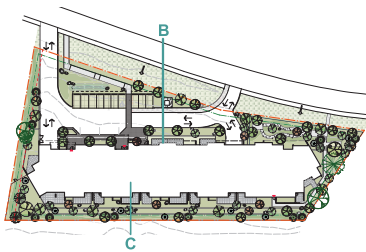
**L1.04**



**B SECTION**  
 SCALE 1:50



**C SECTION**  
 SCALE 1:50



Refer to **Sheet L1.01** for Design Rationale  
 Refer to **Sheet L1.02** for Landscape Plan  
 Refer to **Sheet L1.03** for Patio Landscape Plan  
 Refer to **Sheet L1.04** for Landscape Elevation

**NOT FOR CONSTRUCTION**

RECEIVED  
**DP1315**  
 2024-JUL-24  
 Current Planning

**kinship**  
 design • art • ecology

1070 Nelson Street, Nanaimo BC, V9S 2K2  
 250-753-8093  
 kate.stefluk@kinshipdesign.ca  
 chris.midgley@kinshipdesign.ca



All drawings and specifications are the copyright property of the Landscape Architect. Use or reproduction of documents in whole or in part is subject to the Landscape Architect's specific consent.

**CLIENT**  
 May & William

NO.	DATE	ISSUE
1	08-15-2023	DP SUBMISSION
2	03-15-2024	DP RESUBMISSION
3	05-16-2024	DP RESUBMISSION
4	07-16-2024	DP RESUBMISSION

**NO. | DATE | REVISION**

**PROJECT**  
**HALIBURTON APARTMENTS**  
 821 Haliburton Street  
 Nanaimo, BC, V9R 4V9

**PROJECT ID** 22009B  
**DB** CM **CB** KS  
**SCALE** 1:50  
**DATE** July, 2022

**LANDSCAPE SECTIONS**

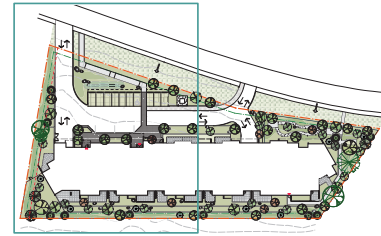
**L1.05**

TREE LEGEND

- Ac (16) Acer circinatum
- Ag (6) Acer griseum
- A (2) Acer macrophyllum
- Aps (8) Acer palmatum 'Shindeshojo'
- Ap (24) Acer palmatum 'Osakazuki'
- Ce (8) Cornus edulis white wonder
- Ck (10) Cornus kousa
- Po (8) Picea omorika bruns
- Pc (10) Pinus contorta
- P (3) Pseudotsuga menziesii

PLANT LEGEND

- At Achlys triphylla
  - A Alnus uruedo
  - Au Arctostaphylos uva-ursa
  - Ck Calanogrostis Karl Forester
  - Ca Clematis armandi
  - Cs Cornus sericea
  - Fc Fragaria chiloensis
  - Ga Gaultheria shallon
  - Gl Gaura lindheimeri
  - Gd Gymnocarpium dryopteris
  - Hi Hamamelis x intermedia 'Diane'
  - Hm Hakonechloa maera
  - Lc Lonicera ciliosa
  - Ln Luzula nivea
  - Mn Mahonia nervosa
  - My Miscanthus yaku jima
  - Np Nepeta drospmore blue
  - Pa Pennisetum alopecuroides
  - Pm Pinus mugo var. pumilio glycyhiza
  - Pg Polygodium glycyhiza
  - Pm Polystichum munium
  - Rs Ribes sanguineum
  - Sn Salvia nemorosa 'Cardinal'
  - Sa Symphoricarpos albus
  - Tg Tellima grandiflora
  - Ts Thymus serpyllium
  - V Vaccinium
  - Vo Vaccinium ovatum
- GRASS BOULEVARD**  
 Area: 635m<sup>2</sup>  
 Soil Depth: 150mm  
 Premier Pacific Seeds Ltd. Drought Smart  
 Lawn mix or equivalent.
- BIOSWALE BOTTOM**  
 Area: 7.2m<sup>2</sup>  
 Soil Depth: 450mm  
 Plant bottom with a mix of:  
 1. Carex obovata  
 2. Iris missouriensis



Refer to Sheet L2.02 for Planting Plan South  
 Refer to Sheet L2.03 for Patio Planting Plan  
 Refer to Sheet L2.04 for Plant List + Notes

**NOT FOR CONSTRUCTION**



All drawings and specifications are the copyright property of the Landscape Architect. Use or reproduction of documents in whole or in part is subject to the Landscape Architect's specific consent.

**CLIENT**  
 May & William

NO.	DATE	ISSUE
1	08-15-2023	DP SUBMISSION
2	03-15-2024	DP REG.SUBMISSION
3	05-16-2024	DP REG.SUBMISSION
4	07-16-2024	DP REG.SUBMISSION

**NO. | DATE | REVISION**

**RECEIVED**  
**DP1315**  
 2024-JUL-24  
 Current Planning

**PROJECT**  
**HALIBURTON APARTMENTS**  
 821 Haliburton Street  
 Nanaimo, BC, V9R 4V9

**PLANTING PLAN NORTH**

**PROJECT ID** 22009B  
**DB** CM **CB** KS  
**SCALE** 1:150  
**DATE** July, 2022

**L2.01**

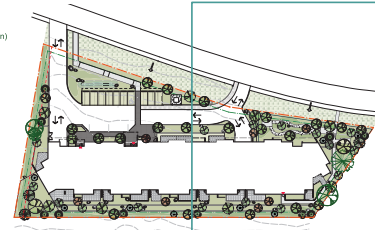


TREE LEGEND

- Ac (16) Acer circinatum
- Ag (6) Acer griseum
- A (2) Acer macrophyllum
- Aps (8) Acer palmatum 'Shindeshoji'
- Ap (24) Acer palmatum 'Osakazuki'
- Ce (8) Cornus edulis white wonder
- Ck (10) Cornus kousa
- Po (8) Picea omorika bruns
- Pc (10) Pinus contorta
- P (3) Pseudotsuga menziesii

PLANT LEGEND

- At Achlys triphylla
  - A Arbutus unedo
  - Au Arctostaphylos uva-ursa
  - Ck Calamagrostis Karf Forester
  - Ca Clematis armandi
  - Cs Cornus sericea
  - Fc Fragaria chiloensis
  - Gs Gaultheria shallon
  - Gl Gaura lindgameri
  - Gd Gymnocarpium dryopteris
  - Hl Hamamelis x intermedia 'Diane'
  - Hm Hakonechloa macra
  - Lc Lonicera ciliosa
  - Ln Luzula nivea
  - Mn Mahonia nervosa
  - My Miscanthus yaku jima
  - Np Nepeta droopmore blue
  - Pa Pennisetum alopecuroides
  - Pim Pinus mugo 'var. pumilio' glycyrrhiza
  - Pg Polypodium glycyrrhiza
  - Pm Polydichum inunilium
  - Rb Ribes sanguineum
  - Sn Salvia nemorosa 'Cardonna'
  - Sa Symphoricarpos albus
  - Tg Telima grandiflora
  - Ts Thymus serpyllum
  - V Vaccinium
  - Vo Vaccinium oxatum
- GRASS BOULEVARD  
Area: 632m<sup>2</sup>  
Soil Depth: 150mm  
Premier Pacific Seeds Ltd. Drought Smart  
Lawn mix or equivalent.
- BIOSWALE BOTTOM  
Area: 7.2m<sup>2</sup>  
Soil Depth: 450mm  
Plant bottom with a mix of:  
1. Carex obovata  
2. Iris missouriensis



Refer to Sheet L2.01 for Planting Plan North  
Refer to Sheet L2.03 for Patio Planting Plan  
Refer to Sheet L2.04 for Plant List + Notes

RECEIVED  
DP1315  
2024-JUL-24  
Culbert Planning

**NOT FOR CONSTRUCTION**



All drawings and specifications are the copyright property of the Landscape Architect. Use or reproduction of documents in whole or in part is subject to the Landscape Architect's specific consent.

CLIENT  
May & William

NO.	DATE	ISSUE
1	08-15-2023	DP SUBMISSION
2	03-15-2024	DP RESUBMISSION
3	05-16-2024	DP RESUBMISSION
4	07-16-2024	DP RESUBMISSION

NO. | DATE | REVISION

PROJECT  
HALIBURTON APARTMENTS  
821 Haliburton Street  
Nanaimo, BC, V9R 4V9

PROJECT ID 22009B  
DB CM CB KS  
SCALE 1:150  
DATE July, 2022

PLANTING PLAN SOUTH

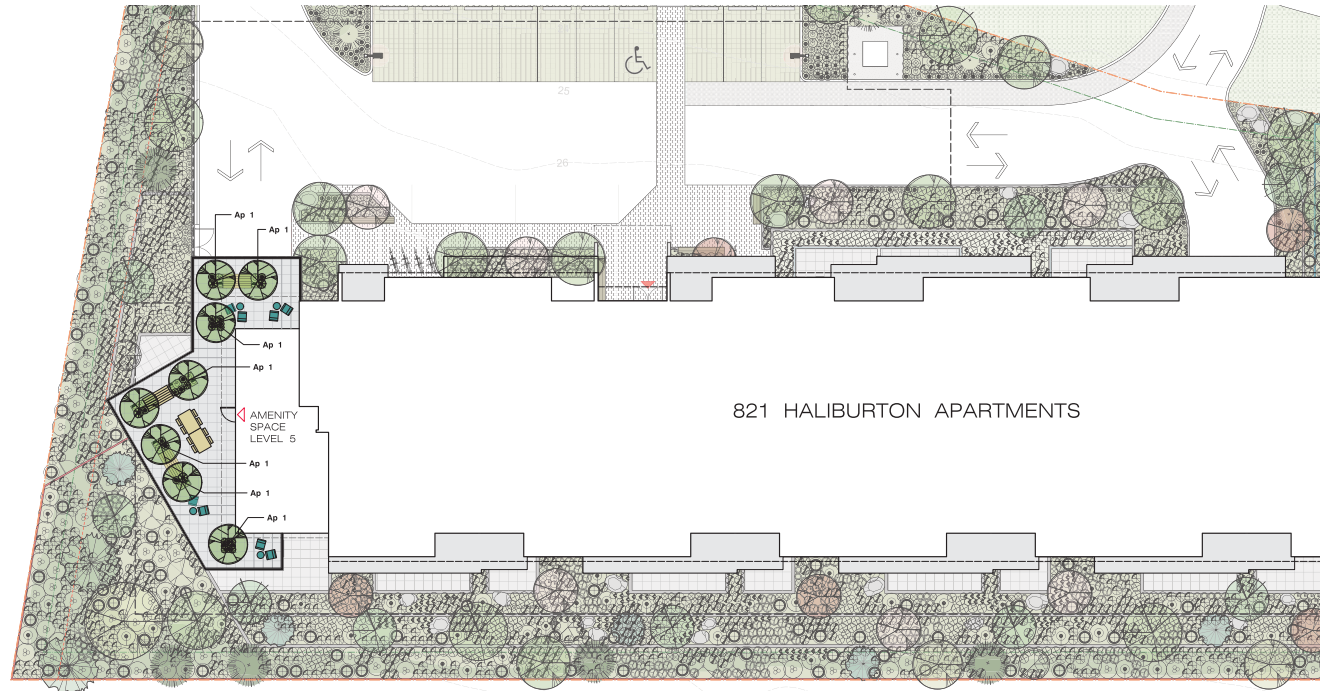
L2.02

TREE LEGEND

- Ac (16) *Acer circinatum*
- Ag (6) *Acer griseum*
- A (2) *Acer macrophyllum*
- Apa (8) *Acer palmatum* 'Shindeshojo'
- Ap (24) *Acer palmatum* 'Osakazuki'
- Ca (8) *Cornus edulis* white wonder
- Ck (10) *Cornus kousa*
- Po (8) *Ficus omorika* bruns
- Pc (10) *Pinus contorta*
- P (3) *Pseudotsuga menziesii*

PLANT LEGEND

- At *Achlys triphylla*
  - A *Albustus unedo*
  - Au *Arctostaphylos uva-ursa*
  - Ck *Calanogrosia Karl Forester*
  - Ca *Clematis armandii*
  - Cs *Cornus sericea*
  - Fc *Fragaria chiloensis*
  - Gs *Gaultheria shallon*
  - Gt *Gaura fridgimeri*
  - Gd *Gymnocarpium dryopteris*
  - Hi *Hamamelis x intermedia* 'Diane'
  - Hm *Hakonechloa macra*
  - Lc *Lonicera ciliosa*
  - Ln *Luzula nivea*
  - Mn *Mahonia nervosa*
  - My *Miscanthus yaku jima*
  - Np *Nepeta drospmore blue*
  - Pa *Pennisetum alopecuroides*
  - Pm *Pinus mugo* var. *pumilio* glycyhiza
  - Pg *Polypodium glycyhiza*
  - Pm *Polyatichum munium*
  - Rs *Ribes sanguineum*
  - Sn *Salvia nemorosa* 'Cardinal'
  - Sa *Symphoricarpos albus*
  - Tg *Tellima grandiflora*
  - Ts *Thymus serpythium*
  - V *Vaccinium*
  - Vo *Vaccinium ovatum*
- GRASS BOULEVARD  
Area: 635m<sup>2</sup>  
Soil Depth: 150mm  
Premier Pacific Seeds Ltd. Drought Smart  
Lawn mix or equivalent.
- BIOSWALE BOTTOM  
Area: 7.2m<sup>2</sup>  
Soil Depth: 450mm  
Plant bottom with a mix of:  
1. Carex obovata  
2. Iris missouriensis



821 HALIBURTON APARTMENTS

Refer to Sheet L2.01 for Planting Plan North  
Refer to Sheet L2.02 for Planting Plan South  
Refer to Sheet L2.04 for Plant List + Notes

RECEIVED  
DP1315  
2024-JUL-24  
Current Planning

**NOT FOR CONSTRUCTION**



All drawings and specifications are the copyright property of the Landscape Architect. Use or reproduction of documents in whole or in part is subject to the Landscape Architect's specific consent.

CLIENT

May & William

NO. | DATE | ISSUE

1	08-15-2023	DP SUBMISSION
2	03-15-2024	DP RESUBMISSION
3	05-16-2024	DP RESUBMISSION
4	07-16-2024	DP RESUBMISSION

NO. | DATE | REVISION


PROJECT

HALIBURTON APARTMENTS  
821 Haliburton Street  
Nanaimo, BC, V9R 4V9

PATIO PLANTING PLAN

PROJECT ID 220009

DB CM CB KS

SCALE 1:150  
DATE July, 2022



**L2.03**

PLANT LIST					
Key	Qty	Botanical Name	Common Name	Pot Size	Spacing
<b>Coniferous Trees</b>					
Pc	8	Pinus contorta bruns	Serbian Spruce	1.5m ht	
Pc	10	Pinus contorta var contorta	Shore Pine	1.5m ht	
P	3	Pseudotsuga menziesii	Douglas Fir	#15	
<b>Deciduous Trees</b>					
Ac	16	Acer circinatum	Vine Maple	#7	Multisem
Ag	6	Acer griseum	Paper Bark Maple	1.5m ht	
A	2	Acer macrophyllum	Big Leaf Maple	#20	
Ap	24	Acer palmatum 'Osakazuki'	Japanese Maple	1.5m ht	
As	8	Acer palmatum 'Shandeshigi'	Japanese Maple	1.5m ht	
Ce	8	Cornus 'Eddie's White Wonder'	White Flowering Dogwood	#20	
Ck	10	Cornus kousa	Red Flowering Dogwood	1.5m ht	
<b>Coniferous Shrubs</b>					
P	6	Pinus mugo 'var. pumilio'	Dwarf Mountain Pine	#5	2m o.c.
<b>Deciduous Shrubs</b>					
Cs	14	Cornus sericea	Red Twig Dogwood	#1	2m o.c.
Hi	4	Hamelis x intermedia	Witch Hazel	#5	2m o.c.
Rs	107	Ribes sanguineum	Red Flowering Currant	#1	1.2m o.c.
Sa	129	Symphoricarpos albus	Common Snowberry	#1	1.2m o.c.
V	16	Vaccinium	Blueberries	#1	1.2m o.c.
<b>Evergreen Shrubs</b>					
A	6	Arbutus unedo 'Compacta'	Compact Strawberry Tree	#7	2m o.c.
Vo	167	Vaccinium ovatum	Evergreen Huckleberry	#1	1m o.c.
<b>Groundcovers &amp; Ferns</b>					
Au	582	Arostaphylos uva-ursi	Kinnikinnick	10cm	45cm o.c.
Fc	277	Fragaria chiloensis	Coastal Strawberry	10cm	45cm o.c.
Gs	575	Gaultheria shallon	Sallal	#1	60cm o.c.
Gd	78	Gymnocarpium dryopteris	Oak Fern	10 cm	30cm o.c.
Mn	1006	Mahonia nervosa	Dull Oregon Grape	#1	60cm o.c.
Pg	200	Polypodium glycyhiza	Licorice Fern	10cm	45cm o.c.
Pm	1170	Polystichum murinum	Sword fern	#1	60cm o.c.
Ts	29	Thymus serpyllum	Creeping Thyme	10cm	30cm o.c.
<b>Ornamental Grasses</b>					
Ck	34	Calamagrostis Karl Forester	Feather Reed Grass	#1	60cm o.c.
Hm	357	Hakonechloa macra	Japanese Forest Grass	#1	60cm o.c.
Ln	69	Luzula sivea	Snowy Woodrush	#1	45cm o.c.
My	16	Miscanthus yaku jima	Maiden Grass	#1	1m o.c.
Pa	73	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain grass	#1	60cm o.c.
<b>Perennials</b>					
At	103	Achlys triphylla	Vanilla Leaf	10cm	45cm o.c.
Gl	125	Gaura lindheimeri 'Bantam White Improved'	Bee blossom	#1	45cm o.c.
Np	28	Nepeta x faassenii 'Dropmore'	Calamin	#1	60cm o.c.
Sn	37	Salvia x sylvestris 'Caradonna'	Purple Wood Sage	#1	60cm o.c.
Tg	93	Tellina grandiflora	Firecup	10cm	45cm o.c.
<b>Bioswale</b>					
Co	15	Carex obnupta	Slough Sedge	10cm	45cm o.c.
Im	15	Iris missouriensis	Western Blue Flag Iris	10 cm	45cm o.c.

PLANTING NOTES
1. All landscape installation and maintenance to meet or exceed the current edition of the Canadian Landscape Standards as a minimal acceptable standard.
2. Growing medium to meet or exceed the properties outlined in the Canadian Landscape Standard per Section 6 Growing Medium, Table T1.6.3.3. Properties of Growing Media Level 2: 'Groomed' - 29.
3. Growing Medium Depths: Tree Planting Areas: 1 cu. m. per tree Shrub & Ground Cover Areas: 450mm (18") depth Seeded Areas: 150mm (6") depth
4. Mulch to be Compost per Section 10 Mulching of the Canadian Landscape Standard. Mulch depth to be 75mm minimum depth over all tree, shrub, and groundcover planting areas.
5. Plant material quality, transport and handling shall comply with the CNLA standards for Nursery Stock.
6. All plant material shall match type and species as indicated on the planting plan. Contact the Landscape Architect for approval of substitutions. No substitutions will be accepted without prior written approval of the Landscape Architect.
7. Check for locations of water lines and other underground services prior to digging tree pits. Excavated plant pits shall have positive drainage. Plant pits when fully flooded with water shall drain within one hour after filling.
8. No plants requiring pruning or major branches due to disease, damage or poor form will be accepted.
9. All tree, shrub, groundcover and lawn areas shall be watered via an underground automatic irrigation system utilizing 'Smart' (ET/Weather-based) irrigation control. Irrigation emission devices to be high efficiency low volume rotary nozzles or drip irrigation equipment.

Refer to **Sheet L2.01** for Planting Plan North  
 Refer to **Sheet L2.02** for Planting Plan South  
 Refer to **Sheet L2.03** for Rooftop Planting Plan

**NOT FOR CONSTRUCTION**



All drawings and specifications are the copyright property of the Landscape Architect. Use or reproduction of documents in whole or in part is subject to the Landscape Architect's specific consent.

**CLIENT**  
 May & William

NO.	DATE	ISSUE
1	08-15-2023	DP SUBMISSION
2	03-15-2024	DP RESUBMISSION
3	05-16-2024	DP RESUBMISSION
4	07-16-2024	DP RESUBMISSION

**NO. | DATE | REVISION**

RECEIVED  
**DP1315**  
 2024-JUL-24  
 Current Planning

**PROJECT**  
 HALIBURTON APARTMENTS  
 821 Haliburton Street  
 Nanaimo, BC, V9R 4V9

**PLANT LIST & NOTES**

**PROJECT ID** 220099  
**DB** **CM** **CB** **KS**

**SCALE** 1:150  
**DATE** July, 2022

**L2.04**

**ATTACHMENT G**  
**SCHEDULE D - AMENITY REQUIREMENTS FOR**  
**ADDITIONAL DENSITY**

Category 3: Parking and Sustainable Transportation (10 points required)

Amenity		Points	
A	For a non-residential component of a development, shower and change room facilities are provided to accommodate employees.	2	
B	At least one parking space is clearly marked and designated for the exclusive use of a vehicle belonging to a car share or car co-op.	1	
C	The developer purchases a new car and gifts the car to a recognized car share provider for the inclusion of a car share space on the subject property.	4	
D	A minimum of 50% of the parking provided for the proposed development includes access to an electric vehicle charging station.	2	2
E	A minimum of 80% of the total parking area is located underground or in a parking structure incorporated into the design of the building.	4	4
F	The proposed development includes covered and designated parking spaces for a motorized or electric scooter, or a designated motorcycle parking space to accommodate the following number of spaces: a) multiple family residential developments: 1 motorized or electric scooter or motorcycle space per 15 dwelling units; or b) non-residential uses: 1 motorized or electric scooter or motorcycle space per 600m <sup>2</sup> of Gross Floor Area for the first 5000m <sup>2</sup> plus one space per 1500m <sup>2</sup> of additional Gross Floor Area.	2	2
G	A pedestrian network is included in the proposed development that connects the buildings on the site with the public road right-of-way and, the pedestrian network from the adjacent site to which there is access by perpetual easement or right-of-way, provided the City agrees to accept the right-of-way.	2	
H	Parking does not exceed minimum parking requirements within the City of Nanaimo "Off-Street Parking Regulations Bylaw 2018 No. 7226" and amendments thereto, and any subsequent bylaw or bylaws which may be enacted in the substitution thereof.	2	2
I	The development includes signage or display(s) regarding sustainable transportation alternatives available on site or within the immediate area.	1	1
Total		20	

(4500.182; 2021-DEC-06)

11/10

## Category 5: Energy Management (11 points required)

Amenity		Points	
A	The proposed development meets at least the requirements of Step 2 of the BC Energy Step Code and exceeds the requirement specified in the Building Bylaw by one step.*	10*	10
B	The proposed development meets at least the requirements of Step 3 of the BC Energy Step Code and exceeds the requirement specified in the Building Bylaw by two steps.*	15*	
C	The proposed development is considered a Part 3 within the British Columbia Building Code (BCBC) and the building meets the minimum requirements of Step 4 (Net Zero Ready) within the BC Energy Step Code; or The proposed development is considered a Part 9 within the British Columbia Building Code (BCBC) and the building meets the minimum requirements of Step 4 or 5 within the BC Energy Step Code.*	30*	
D	The development includes permanent education signage or display(s) regarding sustainable energy management practices used onsite.	1	1
Total		31	

\* Points will be awarded for only one of A, B, or C.

11/11

## Category 6: Water Management (8 points required)

Amenity		Points	
A	At least 50% of the property is covered with a permeable surface area which may include a green roof.	2	2
B	The proposed buildings on the property include plumbing features which will use 35% less water than the BC Building Code standard.	2	2
C	A green roof is installed to a minimum 30% of the roof area.	3	
D	A living wall is installed to cover at least 10% of the total available wall area for the proposed project.	2	
E	A non-potable irrigation system is installed and used for all on-site irrigation.	3	
F	A water efficient irrigation system (such as drip) is installed.	1	1
G	The proposed development includes a rain garden, cistern, bioswale or storm water retention pond on the property.	2	2
H	The development site includes permanent educational signage or a display(s) regarding sustainable water management practices used on site.	1	1
Total		16	

8/8